

ADDENDUM TO RULES AND REGULATIONS

BEAR CREEK ESTATES

APRIL 27, 1984

This Addendum to Rules and Regulations is made this 27th day of April, 1984 by the majority of the Board of Directors of Bear Creek Homeowner's Association, Inc., a Florida corporation not for profit, hereinafter referred to as the "Association."

W I T N E S S E T H:

WHEREAS, the Association has been requested to establish rules and regulations for the approval of the construction of a tennis court on a Lot; and

WHEREAS, the Association is desirous of supplementing the existing restrictions on the property through the act of adopting this regulation pursuant to Article VIII, Section 6(a) and in accordance with all other requirements of the Declaration of Restrictions of Bear Creek Estates (the "Declaration") including but not limited to Article VIII, Section 8 thereof; and

WHEREAS, the Board of Directors has adopted this Addendum in accordance with the requirements of the Bylaws and Articles of Incorporation of the Association;

NOW, THEREFORE, the rules and regulations of the Association are supplemented by the addition of the following requirements:


TENNIS COURTS

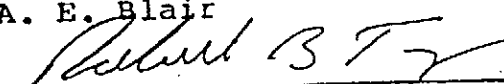
1. Tennis Courts shall be constructed in accordance with the dimensions and approved playing surfaces of the United States Tennis Association (USTA).

Declaration and Rules and Regulations of the Association. In all events, the allowance of the construction of a Tennis Court by the Association shall be in the sole discretion of the Association. Moreover the Association shall review whether the configuration of any particular lot and the improvement of a Tennis Court would adversely impact on the use and enjoyment by an owner of any other lot. The Association may limit its approval by not approving the installation of lighting, wind screens or other attendant items or the Association may disallow the construction of a Tennis Court in its entirety.

IN WITNESS WHEREOF, the day and year first above written, the Directors have adopted this Addendum to the Rules and Regulations of the Association.

"DIRECTORS"

  
A. E. Blair

  
Robert B. Tonry

## GARAGE SALES – ESTATE SALES

A few calls have come in regarding this subject. Research shows the following guidelines: **CITY OF WINTER SPRINGS**

- Sales on residential property of new or used goods shall be held only *after* a permit for such a sale is obtained from the City Hall Building. Such sales on residential property shall be held only by the resident(s) of the property and shall be of no longer duration than six (6) days total for each sale. No more than two (2) such sales shall be held during any twelve month period by any person or organization. No retail or wholesale merchant shall hold any such sale on residential property.
- A "Garage/Yard Sale" Sign is permitted on the Sale premises only. The sign shall not exceed six (6) square feet in area. The "Garage Sale" Sign must be removed at the end of the sale.
- For "community" Garage Sales, one Permit is required listing only the one address where the Sale will be held. This person must then have a list of every person (family) involved.
- Signs canNOT be placed on any right-of-ways. Basically, this means that signs can only be placed in one's own yard!
- There are no different guidelines for a gated community.
- An "Estate Sale" must follow the same guidelines as a "Garage Sale".

### **BEAR CREEK ESTATES**

In the "Declaration of Restrictions: BEAR CREEK ESTATES" (1982), Article VIII: Lot Restrictions, Section 3. Home Occupations, (page 20) the statement is *No trade, business, or profession of any kind that is open to the general public at large may be conducted on any Lot. Garage sales and other similar, non-recurring activities may be permitted by the Association's rules and regulations.*

The current BCE Board feels that our governing "Restrictions" do NOT prohibit Garage Sales/Estate Sales. However, a Permit must be completed at City Hall and all city guidelines must be followed. In regard to the gate, the BCE Board states that no special codes will be issued for Garage/Estate Sales. Neither shall the "host" resident place a special code in a Garage/Estate Sale announcement or post a service or unique code on the keypad at the gate. Attendees of a Garage/Estate Sale must use the "telephone" entry system by punching in the resident's phone code and having the resident himself/herself open the gate!

adopted 5-5-03